

2007-02-05

Preliminary land Use Service (PLUS)

Delaware State Planning Coordination

122 William Penn Street • Dover, DE 19901 • Phone: 302-739-3090 • Fax: 302-739-6958

Please complete this "PLUS application in its entirety. **All questions must be answered. If a question is unknown at this time or not applicable, please explain.** Unanswered questions on this form could lead to delays in scheduling your review. This form will enable the state staff to review the project before the scheduled meeting and to have beneficial information available for the applicant and/or developer at the time of review. If you need assistance or clarification, please call the State Planning Office at (302) 739-3090. Possible resources for completing the required information are as follows:

www.state.de.us/planningwww.dnrec.state.de.us/dnrec2000www.dnrec.state.de.us/DNRECeis
datamil.delaware.govwww.state.de.us/deptagri

1. Project Title/Name: **WOODFIELD PRESERVE**

2. Location (please be specific): **Located on Broadkill Road in Sussex County, DE, east of Route 1; the subject property is bounded by Broadkill Road to the north, the Rookery Golf Course to the west, the Broadkill river to the south, and two private properties to the east (currently agricultural use).**

3. Parcel Identification #: **235-9.00-23.00**

4. County or Local Jurisdiction Name: **Sussex County, DE**

5. Owner's Name: **Thompson Schell, LLC**

Address: **55 Cascade Lane**

City: **Rehoboth Beach**

State: **DE**

Zip: **19971**

Phone: **302.227.3573**

Fax: **302.227.2326**

Email:

6. Applicant's Name: **Thompson Schell, LLC**

Address: **55 Cascade Lane**

City: **Rehoboth Beach**

State: **DE**

Zip: **19971**

Phone: **302.227.2573**

Fax: **302.227.2326**

Email:

7. Project Designer/Engineer: **Element Design Group**

Address: **18335 Coastal Highway, Suite C**

City: **Lewes**

State: **DE**

Zip: **19958**

Phone: **302-645-0777**

Fax: **302-645-0177**

Email: **doug@elementdg.com**

8. Please Designate a Contact Person, including phone number, for this Project: **Douglas M. Warner, P.E. 302-645-0777**

Information Regarding Site:

9. Type of Review: ☐ Rezoning ☐ Comp. Plan Amendment (Kent County Only) ☐ Site Plan Review
☒ Subdivision

10. Brief Explanation of Project being reviewed:

The proposed residential community is planned as a cluster development containing over 250 single family homes with premium lots and site amenities overlooking the adjacent golf course and Broadkill River. The proposed development will respect the environment by preserving a majority of existing mature trees on site, reforest areas around the perimeter of the development, and keep all development activity located over 1,000 feet away from the Broadkill River.

11. Area of Project(Acres +/-): **196.25 +/- Acres**

12. According to the State Strategies Map, in what Investment Strategy Level is the project located? ☐ Investment Level 1
☐ Investment Level 2 ☐ Investment Level 3 ☒ Investment Level 4 ☐ Environmentally Sensitive Developing (Sussex Only) (See EXHIBIT E)

13. If this property has been the subject of a previous LUPA or PLUS review, please provide the name(s) and date(s) of those applications.
N/A

14. Present Zoning:
Sussex County: Agricultural Residential District (AR-1)

15. Proposed Zoning:
(Same)Agricultural Residential District (AR-1) - Cluster Development

16. Present Use: **Agriculture / Residential**

17. Proposed Use: **Residential**

18. If known, please list the historical and former uses of the property, and any known use of chemicals or hazardous substances:
235-9.00-23.00 – Agricultural.

19. Comprehensive Plan recommendation: **N/A**

If in the County, which area, according to their comprehensive plan, is the project located in:

New Castle ☐

Kent ☐

Sussex ☒

Suburban ☐

Inside growth zone ☐

Town Center ☐

Low Density ☒

Suburban reserve ☐

Outside growth zone ☐

Developing ☐

Other ☐

Environ. Sensitive Dev. District ☐

20. Water: ☒ Central (Community system) ☐ Individual On-Site ☐ Public (Utility)
Service Provider Name: **Tidewater**

Will a new public well be located on the site? ☐ Yes ☒ No What is the estimated water demand for this project? **TBD**

How will this demand be met? **TBD**

Tidewater is currently evaluating the use of an onsite well or the potential for a regional supply.

21. Wastewater: ☒ Central (Community system) ☐ Individual On-Site ☒ Public (Utility)
Service Provider Name: **Tidewater.**

The proposed plan calls for a treatment lagoon with spray irrigation potential. Currently, Tidewater is investigating potential options with DNREC, including spray irrigation serving the adjacent Rookery Golf Course.

22. If a site plan please indicate gross floor area: **N/A**

23. If a subdivision: ☐ Commercial ☒ Residential ☐ Mixed Use

24. If residential, indicated the number of number of Lots/units: **256** Gross Density of Project: **1.3 du/acre** Net Density **1.7 du/acre**
Gross density should include wetlands and net density should exclude wetlands, roads, easements, etc.

25. If residential, please indicate the following:

Number of renter-occupied units: **0**

Number of owner-occupied units: **256**

Target Population (check all that apply): **N/A**

Renter-occupied units

☐ Family

☐ Active Adult (check only if entire project is restricted to persons over 55)

Owner-occupied units

☒ First-time homebuyer – if checked, how many units **85**

☒ Move-up buyer – if checked, how many units **85**

☒ Second home buyer – if checked, how many units **86**

☐ Active Adult (Check only if entire project is restricted to persons over 55)

NOTE: Target housing market to be determined.

26. Present Use: % of Impervious Surfaces: **0.5%**

Square Feet: **44,360 +/- sf (1.02 ac. +/-)**

Proposed Use: % of Impervious Surfaces: **12.5%**

Square Feet: **1,072,214 +/- sf (24.6 ac. +/-)**

27. What are the environmental impacts this project will have? **Reduction in agricultural land; minimal reduction in forested land; and water quality is to remain constant in accordance with state regulations. Maintain existing habitats in aquatic areas.**

How much forest land is presently on-site? **42.8 ac. +/-** How much forest land will be removed? **1.34 ac. +/- (4.6%)**

Are there known rare, threatened, or endangered species on-site? ☐ Yes ☒ No **None identified at this point in time.**

Is the site in a sourcewater (for example, an excellent groundwater recharge) protection area? ☐ Yes ☒ No

Recharge potential maps are available at

Kent County

<http://www.udel.edu/dgs/Publications/pubsonline/hydromap11.pdf>

Sussex County

<http://www.udel.edu/dgs/Publications/pubsonline/hydromap12.pdf>

New Castle County has a map viewer that shows the Wellhead protection areas and excellent recharge areas under Natural Features – Water Resources.

<http://dmz-arcims02.co.new-castle.de.us/website/nccparcelmap2/viewer.htm>

Does it have the potential to impact a sourcewater protection area? ☐ Yes ☒ No

NOTE: Site has a fair groundwater recharge potential. All post development run-off will be treated in accordance with local, state and federal requirements.

28. Is any portion of construction located in a Special Flood Hazard Area as defined by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM)? ☒ Yes ☐ No **Zone AE and Zone X only.**

Will this project contribute more rainwater runoff to flood hazard areas than prior to development? ☐ Yes ☒ No If "Yes," please include this information on the site map.

NOTE: All post development run-off will be treated in accordance with local, state and federal requirements and will not exceed pre-development rates.

29. Are there any wetlands, as defined by the U.S. Army Corps of Engineers or the Department of Natural Resources and Environmental Control, on the site? ☒ Yes ☐ No

Are the wetlands: ☒ Tidal **23.9 Acres +/- (Along Broadkill River)**
☒ Non-tidal **5.6 Acres +/-**

If "Yes", have the wetlands been delineated? ☐ Yes ☒ No **Delineation in process.**

Has the Army Corp of Engineers signed off on the delineation? ☐ Yes ☒ No **In process.**

Will the wetlands be directly impacted and/or do you anticipate the need for wetland permits? ☐ Yes ☒ No If "Yes", describe the impacts: **The proposed layout does not impact the existing wetlands.**

Will there be ground disturbance within 100 feet of wetlands ☒ Yes ☐ No

30. Are there streams, lakes, or other natural water bodies on the site? ☒ Yes ☐ No

If the water body is a stream, is it: ☐ Perennial (permanent) ☐ Intermittent ☐ Ephemeral (Seasonal) **N/A**

If "Yes", have the water bodies been identified? ☒ Yes ☐ No **Existing stormwater management pond on-site.**

Will there be ground disturbance within 100 feet of the water bodies ☒ Yes ☐ No If "Yes", please describe: **The proposed roads, lots and stormwater management (with their required grading) will be located within 100 ft of some of the water bodies.**

31. Does this activity encroach on or impact any tax ditch, public ditch, or private ditch (ditch that directs water off-site)?

☒ Yes ☐ No

If yes, please list name: **Private on-site ditch (unnamed).**

32. List the proposed method(s) of stormwater management for the site: **Two outfall points are proposed; one is an existing non-tidal creek and the second is a tidal wetland. GREEN Technology BMP's (filter strips, bioswales, etc.) will be utilized to the fullest extent possible to meet the stormwater management quality and quantity control requirements.**

Define the anticipated outlet location(s) for stormwater generated by the site (for example, perennial stream, tax ditch, roadside swale, storm drain system, infiltration, etc.): **Ultimate point of discharge is the Broadkill River**

Will development of the proposed site create or worsen flooding upstream or downstream of the site? ☐ Yes ☒ No

33. Is open space proposed? ☒ Yes ☐ No If "Yes," how much? **120.8+/- Acres 5,262,416 Square Feet**

Open space proposed (not including stormwater management ponds and waste water disposal areas) **There will be a diverse mix of uses intended for the on-site open space. Active recreation areas will be available on the golf course extensions and site amenities and benches in key locations along with enhanced landscape areas will provide opportunities for passive recreation.**

What is the intended use of the open space (for example, active recreation, passive recreation, stormwater management, wildlife habitat, historical or archeological protection)? **In addition to the items mentioned above, stormwater ponds will add to the landscape, while the maximum preservation of wooded areas (over 95%) will minimize impacts to existing wildlife habitats.**

Where is the open space located? **Throughout site. (See Exhibit G).**

Are you considering dedicating any land for community use (e.g., police, fire, school)? ☐ Yes ☒ No

34. Does it border existing natural habitat or preserved (for example, an agricultural preservation district or protected State Resource Area) land? ☒ Yes ☐ No If "Yes," what are they? **Property borders the Broadkill River to the south; per DNREC, this area is in the Robertson Landing - Farmland Preservation Program area.**

35. Is any developer funding for infrastructure improvement anticipated? ☒ Yes ☐ No If "Yes," what are they? **TBD – not known at this time; off-site improvements shall be determined through agency interaction.**

36. Are any environmental mitigation measures included or anticipated with this project? ☒ Yes ☐ No **Afforestation is proposed along the south and eastern property lines.**

Acres on-site that will be permanently protected **23.9 Acres +/- (Along Broadkill River).**

Acres on-site that will be restored **12 Acres +/- (Along the eastern property line, buffering agricultural use and proposed residential to be maintained by HOA).**

Acres of required wetland mitigation **0 Ac.**

Stormwater, erosion and sediment control, and construction best management practices (BMPs) that will be employed **See item 32 above.**

Buffers from wetlands, streams, lakes, and other natural water bodies **In accordance with state and local jurisdictional requirements (minimum 50 ft from all wetland areas)**

37. Has any consideration been given to nuisance species (for example, mosquitoes or Canada geese)? ☒ Yes ☐ No **Appropriate measures will be incorporated into SWM practices to address nuisance species.**

38. Will this project generate additional traffic? ☒ Yes ☐ No **A TIS (Traffic Impact Study) has been submitted to DelDOT and is currently in review to ensure no adverse traffic impacts occur as a result of this development.**

How many vehicle trips will this project generate on an average weekday? A trip is a vehicle entering or exiting. If traffic is seasonal, assume the peak season **See comment above**

What percentage of those trips will be trucks, excluding vans and pick-up trucks? **See comment above**

39. If the project will connect to public roads, please specify the number and location of those connections. Please describe those roads in terms of number of lanes, width (in feet) of the lanes and any shoulders. **One (1) entrance is proposed in total to Broadkill Road (Rt 16). Broadkill Road has a 60 ft existing right-of-way. Broadkill Road is a two-way, two-lane undivided state roadway. No shoulders currently exist on Broadkill Road.**

40. Will the street rights of way be public, private, or town? **Private Roads**

41. Is any of the project's road frontage subject to the Corridor Capacity Preservation Program? ☐ Yes ☒ No

42. Please list any locations where this project physically could be connected to existing or future development on adjacent lands and indicate your willingness to discuss making these connections. **The project is currently bounded by an existing golf course to the west, the Broadkill River to the south, an existing public right-of-way to the north, and agricultural land to the east. The only opportunity to connect to adjacent properties is through the future development of parcels to the east; however, due to increased traffic concerns and potentially other impacts, more information would need to be identified prior to allowing such a connection.**

43. Are there existing or proposed sidewalks? ☒ Yes ☐ No; bike paths ☐ Yes ☒ No

Is there an opportunity to connect to a larger bike/pedestrian network? ☐ Yes ☒ No **None exist in the immediate area.**

44. Is this site in the vicinity of any known historic/cultural resources or sites ☐ Yes ☐ No **TBD**

Has this site been evaluated for historic and/or cultural resources? ☐ Yes ☒ No

Will this project affect, physically or visually, any historic or cultural resources? ☐ Yes ☐ No **TBD**

If "Yes," please indicate what will be affected (Check all that apply)

- ☐ Buildings/Structures (house, barn, bridge, etc.)
- ☐ Sites (archaeological)
- ☐ Cemetery

Would you be open to a site evaluation by the State Historic Preservation Office? ☒ Yes ☐ No

45. Are any federal permits, licensing, or funding anticipated? ☐ Yes ☐ No **TBD**

46. Will this project generate any solid waste or require any special permits within State agencies to the best of your knowledge?

☐ Yes ☐ No If yes, please List them: **TBD**

47. Please make note of the time-line for this project: **Start Phase I construction approximately 12/08. Build out expected to last 10 years.**

I hereby certify that the information on this application is complete, true and correct, to the best of my knowledge.

Signature of property owner

Date

Signature of Person completing form
(If different than property owner)

Date

Signed application must be received before application is scheduled for PLUS review.

This form should be returned to the Office of State Planning **electronically** at Dorothy.morris@state.de.us along with an electronic copy of any site plans and development plans for this site. Site Plans, drawings, and location maps should be submitted as image files (JPEG, GIF, TIF, etc.) or as PDF files. GIS data sets and CAD drawings may also be submitted. **If electronic copy of the plan is not available, contact Dorothy at (302) 739-3090 for further instructions.** A signed copy should be forwarded to the Office of State Planning, 122 William Penn Street, Suite 302, Haslet Building, Third Floor, Dover, DE 19901. Thank you for this input. Your request will be researched thoroughly. **Please be sure to note the contact person** so we may schedule your request in a timely manner.

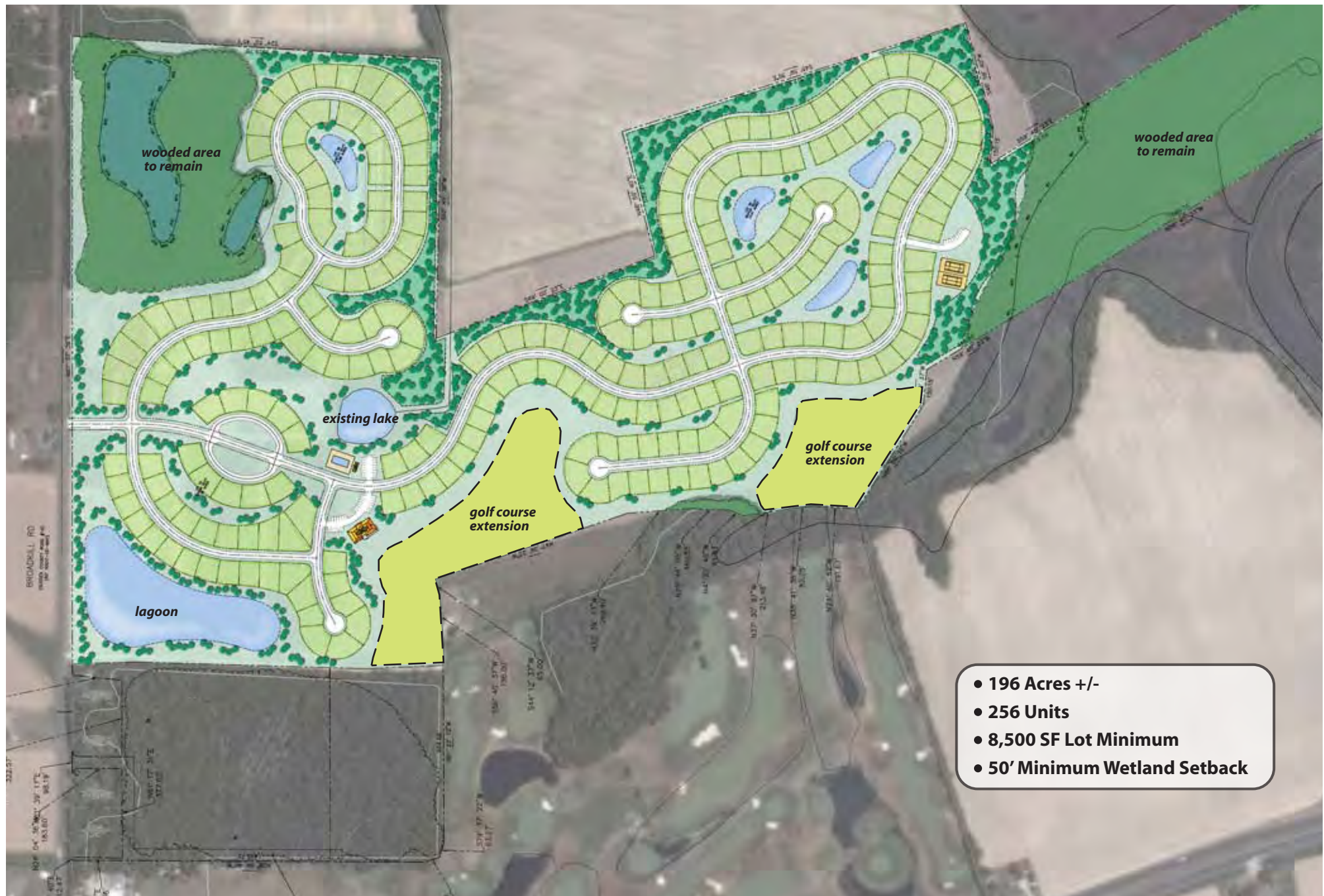


EXHIBIT F: Proposed Plan
 PLUS REVIEW : 29 JAN 2007
 e0672 Woodfield Preserve - Sussex County, DE












EXHIBIT G: Open Space Areas
PLUS REVIEW : 29 JAN 2007
e0672 Woodfield Preserve - Sussex County, DE

Preliminary Land Use Service (PLUS)

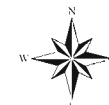
Woodfield Preserve
2007-02-05

-  Project Area
-  Municipalities
-  Purchased Dev. Rights
-  Ag District
-  Public Owned/Protected
-  Forestry Easements
-  Delaware State Forests
-  Working Forests
-  Highest Value Agriculture

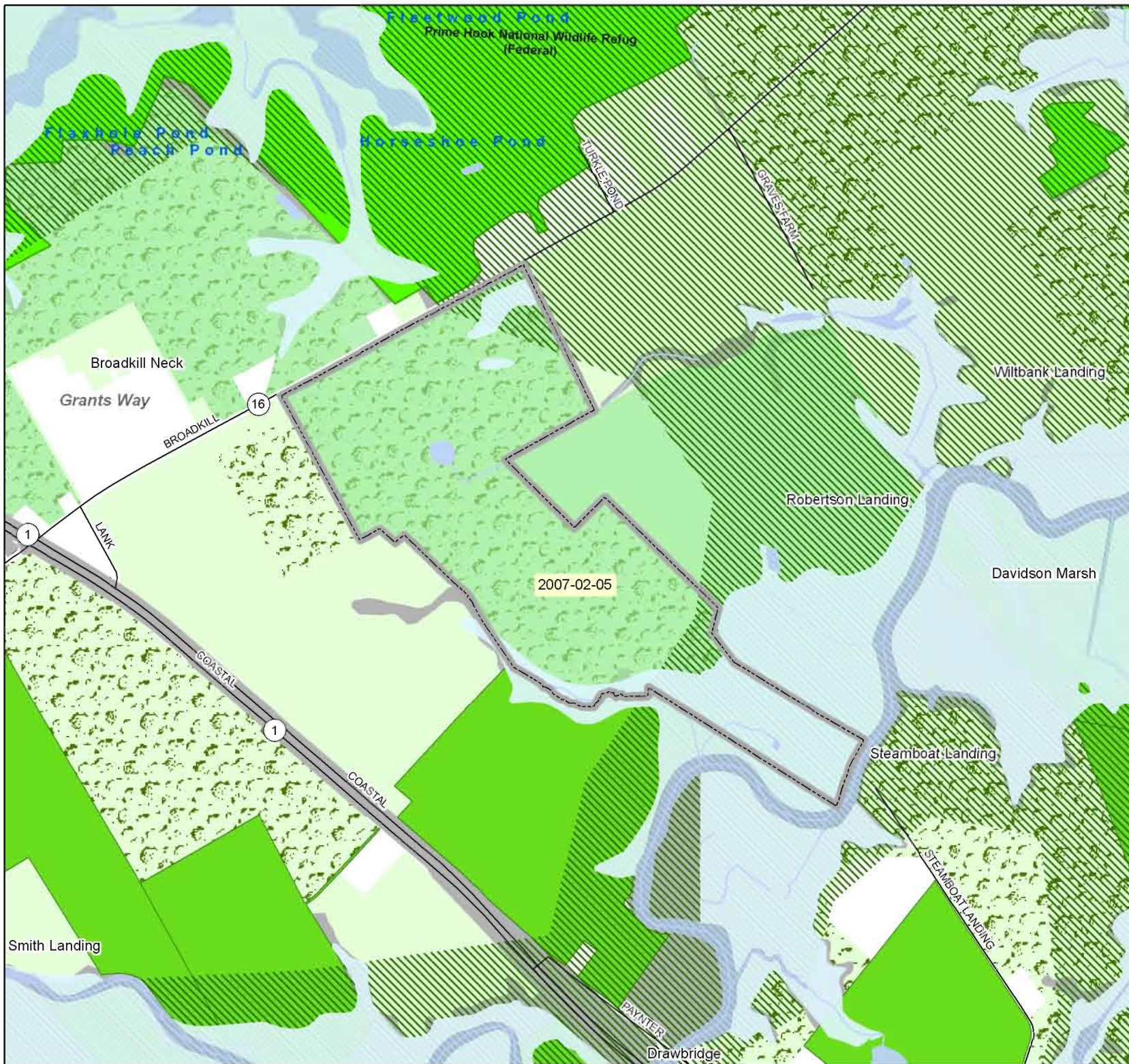
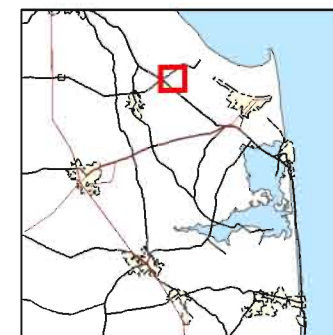
Strategies

-  Level 1
-  Level 2
-  Level 3
-  Level 4
-  Nat. Res. & Rec. Priorities
-  Out of Play
-  Area of Dispute
-  Area of Study
-  Env. Sens. Dev. (Sussex)

0 355 710 1,420
Feet
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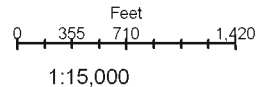
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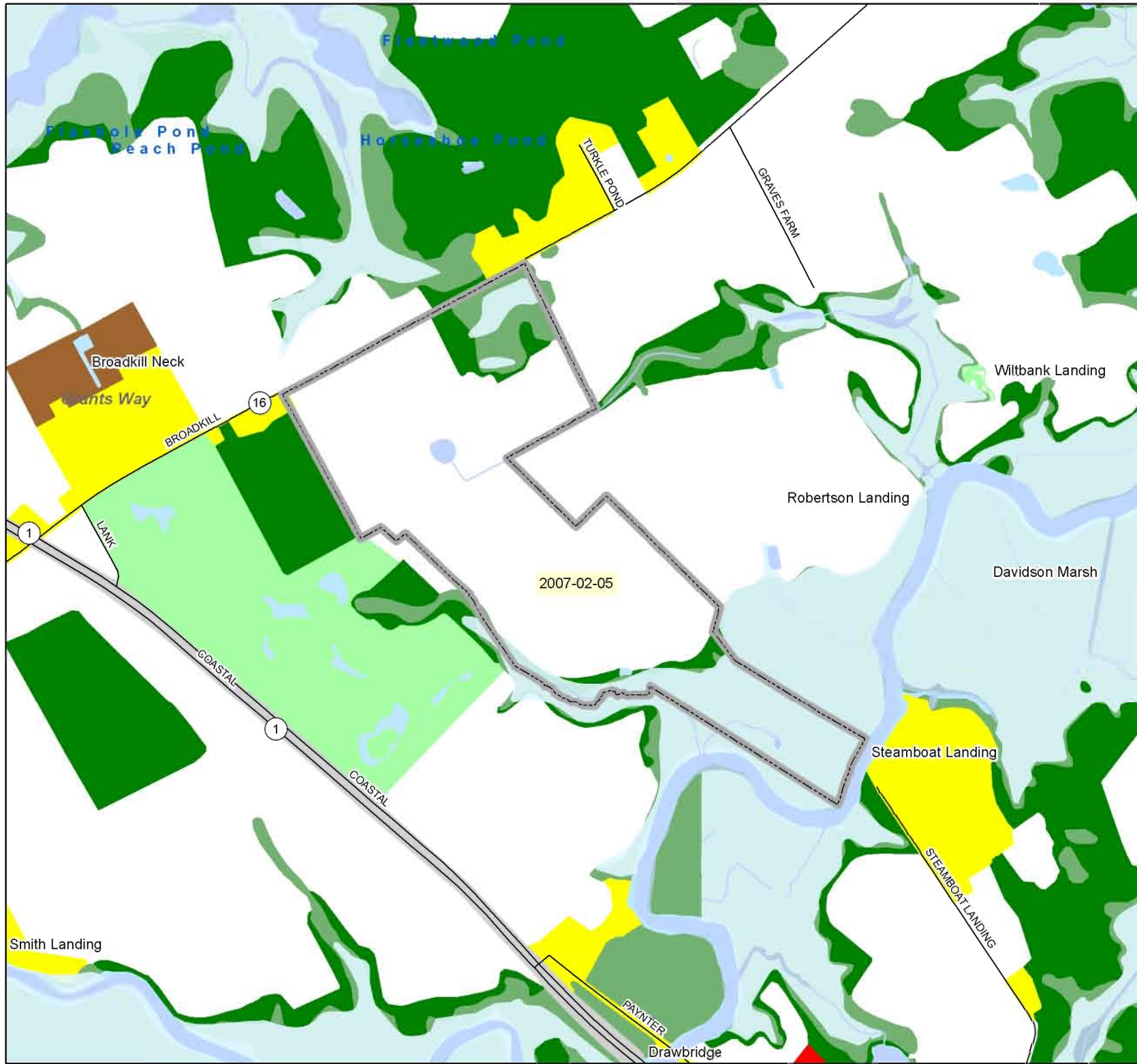
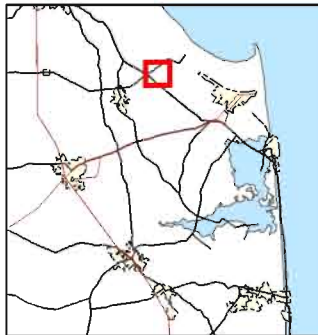
Preliminary Land Use Service (PLUS)

Woodfield Preserve
2007-02-05

-  Project Area
 Municipalities
- 2002 Land Use/Land Cover**
-  Residential
 -  Commercial/Urban
 -  Industrial
 -  Trans./Comm./Utilities
 -  Institutional/Governmental
 -  Recreational
 -  Agriculture
 -  Scrub/Clear Cut
 -  Forest
 -  Water
 -  Wetlands/Wet Woods
 -  Beach/Sandy Area
 -  Extraction/Transition

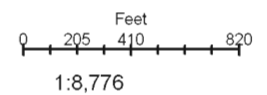


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